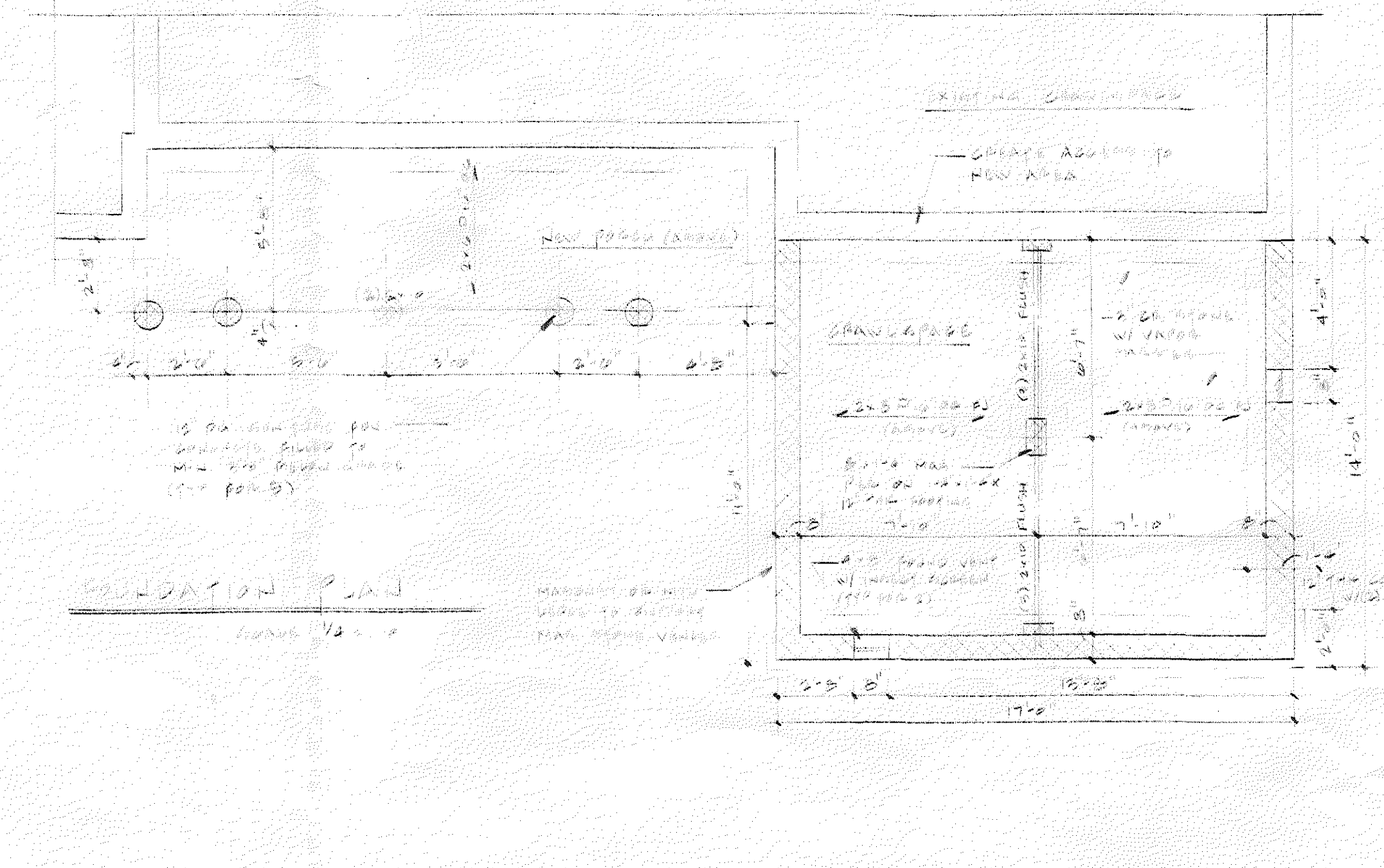


15. All footings shall rest on undisturbed soil of (2) tons per square foot, minimum bearing capacity. Field measure with soil testing as required.
16. Backfill only after foundation walls have been adequately braced with floor framing. All filled Areas shall be compacted layer by layer to not less than 95% maximum density at optimum Moisture content.
17. Contractor shall verify all existing utilities and their ability to supply the new work. Inform the Owner of any utility upgrades in electrical, plumbing, or gas in order to supply the new and Existing work in order to comply with current code requirements.
18. Coordinate with the Owner for the mechanical requirements for the proposed construction. Verify if the existing system can be extended to handle the new work, or if rezoning and Balancing of the system is required.
19. All colors and finishes shall be selected by the Owner from submitted samples.
20. Supply the Owner with all manufacturer's literature and warranty materials for installed systems and equipment. The Contractor shall provide a one-year warranty on all installed materials and Workmanship, which shall commence on the date listed on the final Certificate of Occupancy.



ELECTRICAL SCHEDULE

⊕	Duplex electrical outlet
⊕GFI	Duplex electrical outlet with ground fault interrupt
⊕W	Exterior duplex wall outlet
A	Wall switch
A3	3-way wall switch
⊕	Ceiling mounted light fixture
⊕	Chandelier light fixture (*)
⊕	Pendant light fixture (*)
⊕	Recessed downlight fixture (*)
⊕	Exterior wall mounted light fixture

(*) Coordinate with homeowner for fixture mounting heights, switch location and dimmer controls.

WINDOW SCHEDULE
(Andersen or equal)

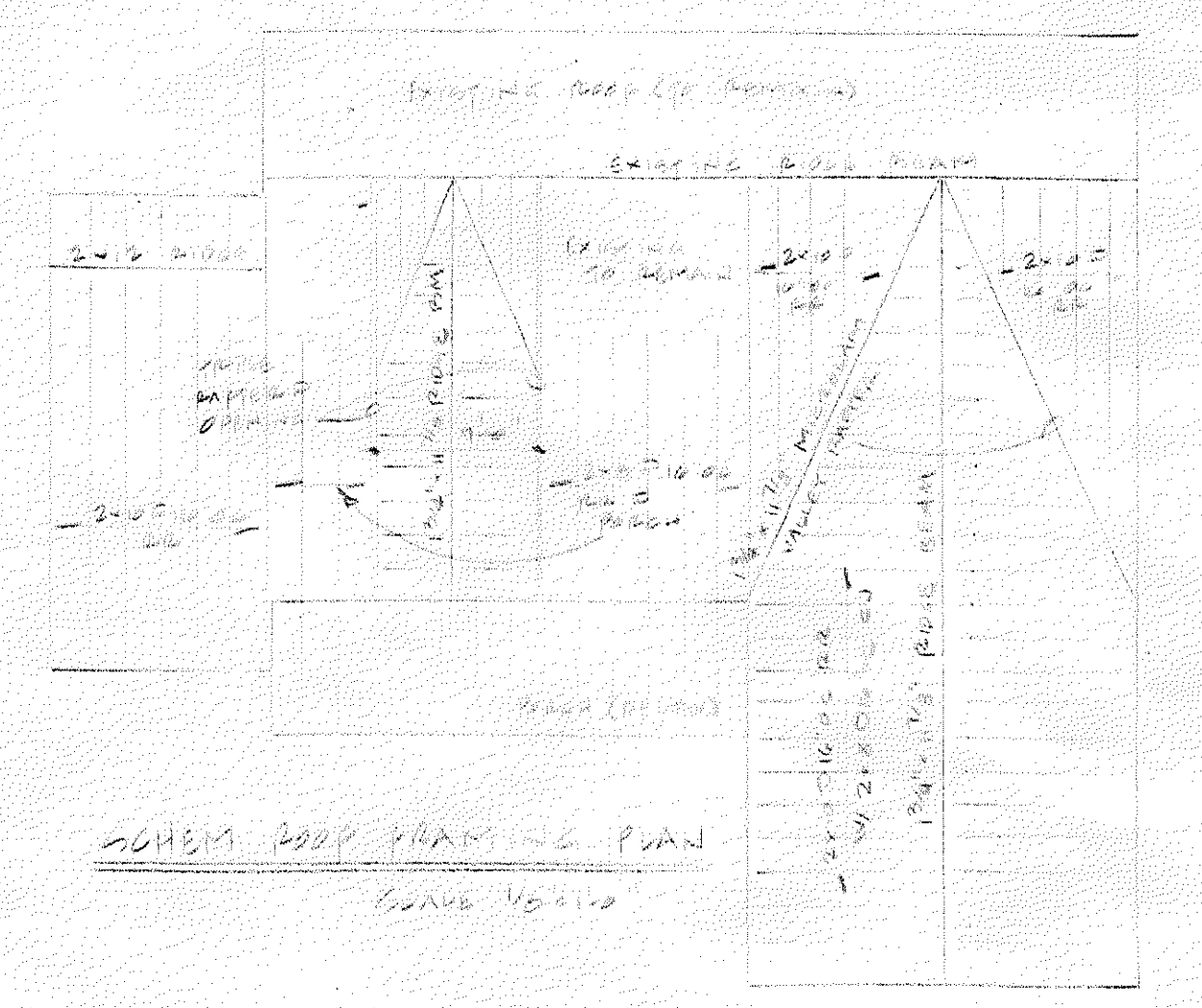
Mark	Model #	Remarks
A	(3) DH24410	
B	(3) TR24210 (3) DH24410	
C	DH24210	
D	DH24310	
E	TR31017	(located in gable in Living Room)

WALL TYPES

	New 2x4@16" o.c. wood stud wall
	Existing wall to remain
	Existing wall to be removed
	New 8" masonry block wall

GENERAL NOTES

1. All work and materials shall conform with the New Jersey uniform Construction Code, Local Codes, and Ordinances including ANSI A.17.1, as administered by the local building officials, and shall be considered as part of these construction documents.
2. Verify all dimensions and existing conditions in the field prior to proceeding with any work. The Contractor shall notify the Architect of any discrepancies or conflicts between the drawings and field conditions. Any changes or deviations from these drawings shall not be made without the written consent from the Architect.
3. All work shall be performed in a first-class manner, utilizing all new materials. The Contractor shall provide all equipment, labor, and materials necessary for the proper execution and timely completion of the work. The Contractor shall be responsible for all materials and equipment stored at the site.
4. Do not scale the drawings, all written dimensions shall govern. All installations shall be field measured prior to fabrication.
5. These drawings are intended to indicate the scope and general extent of the construction work required. Specific details, materials, finishes, and equipment are to be provided by the Contractor and agreed upon by the Owner, unless otherwise noted.
6. The Contractor and their Subcontractors shall carry insurance that will protect the Owner and Architect from claims for damages for personal injuries, including death, which may arise in connection with this project.
7. The Contractor shall obtain the Owner's approval for all materials, finishes, and equipment prior to purchasing. All equipment and materials are to be installed per the manufacturer's written instructions.
8. The Contractor shall keep the site clean and free from debris, and broom clean the construction site daily. The Contractor shall be responsible to provide dumpsters for the removal of all construction debris from the site, and proper disposal of the removed materials in accordance with applicable regulations and standards.
9. The Contractor shall obtain and pay for all required building permits and approvals, prior to starting the project. Display permits at the site as required.
10. The Contractor shall notify the building department for required inspections and approvals, in intervals as instructed, during the construction process. Do not proceed with the next phase of work until all approvals have been acquired. The Contractor must supply a Certificate of Occupancy or Approval, issued by the local construction official, to the Owner for this project to be considered complete and final payment made.
11. All structural framing lumber shall be Douglas Fir, or equal, S4S with minimum stresses: 1,500 psi, horizontal shear 95 psi, modulus of elasticity 1,760,000. Provide double framing under all partitions on the floor above.
12. Non-masonry partitions shall be 2x4 wood studs at 16" o.c. Provide cutting between studs at maximum 8'-0" o.c., and double framing around all openings. 1/2" gypsum wallboard shall be used on all interior facing walls, and tape and spackle (in three layers) and sand in between coats to achieve a paint ready finish.
13. The following headers shall be utilized, unless otherwise shown on the drawings; stud openings span to 3'-6" (2) 2x6; 3'-7" to 4'-6" (2) 2x8; 4'-7" to 6'-0" (2) 2x10; over 6'-0" (2) 2x12 or equally braced.
14. All concrete work shall conform to the latest ACI Building Code. All concrete used shall attain 3,500 psi compression strength at 28 days.



BUILDING INFORMATION

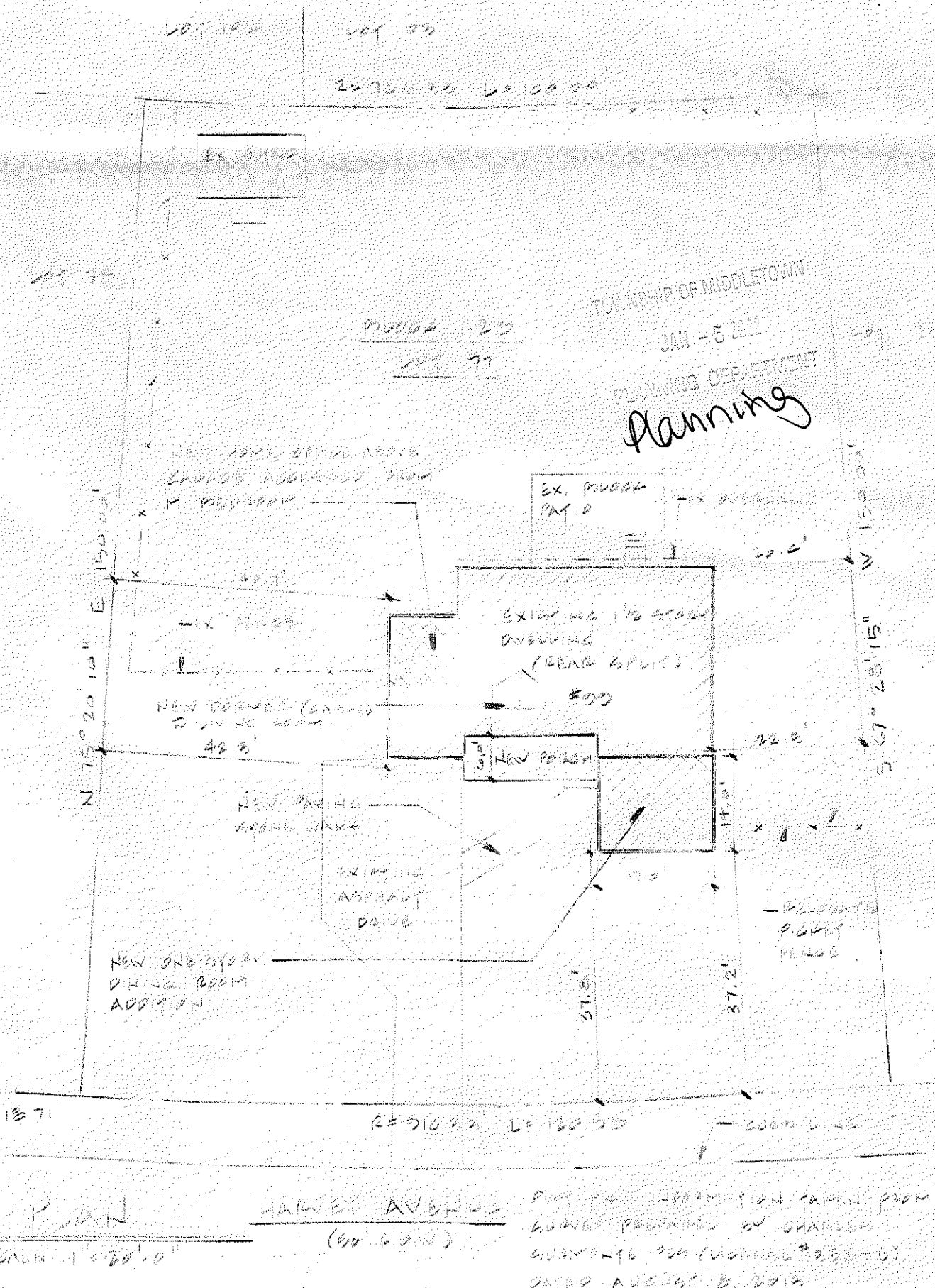
Project designed and to be constructed in accordance with:

- 2018 International Residential Code - NJ Edition
- NJ Rehabilitation Subcode

Use Group: R-5 (Single Family Residential)

Floor Area:

Existing:	
Floor Area (Heated)	1495 s.f.
Garage (Unheated)	210 s.f.
Proposed:	
Dining Room Expansion	238 s.f.
Home Office	106 s.f.
Volume of Addition	3332 cubic feet



ADDITION AND CORRECTION TO RECORD DRAWING
 20 HARVEY AVENUE (MC EMBL PART)
 BLOCK 1158 LOT 77
 MIDDLETOWN TOWNSHIP (UNSHIPPED), NJ

DATE: MAY 14 2021 PROJECT NO. 20-09

DRAWING: WILLIAM LOUMAN, ARCHITECT
 70 DENVER AVENUE
 08840 WOOD NEW JERSEY

A-1

Willa Lohman 5-16-2021
 100 HARVEY AVENUE MIDDLETOWN NJ 07043