

ZONING INFORMATION

Block: 983 Lot: 8 SOUROUR RESIDENCE
Use Group: R5 Zone: R220 / 435 NAVESINK RIVER ROAD
Construction R-22 Coverage MIDDLETOWN, NJ
Classification: 5B

	Required / Allowable	Existing	Proposed
Lot Area	220,000 sf	29,144 sf	No Change
Lot Frontage	325'		No Change
Navesink River Road		80.0'	
Patterson Avenue		364.3'	
Front Yard Setback (Proposed calculated to addition)	115'	86.9'	108.4'
Side Yard Setback	75'	3.9'	No Change
Street Side Yard Setback (Proposed calculated to addition)	115'	22.1'	35.6'
Rear Yard Setback	125'	223'	217'
Building Coverage (including accessory structures) (per R-22 zone requirements)	15% (4,371.6 sf)	10.67% (3,108.8 sf)	10.80% (3,147.7 sf)
Lot Coverage (per R-22 zone requirements)	20% (5,828.8 sf)	29.3% * (8,536.3 sf)	29.26% ** (8,526.5 sf)
Floor Area Ratio	6%	13.2% *	13.5% **
Maximum Stories	1,748.6 sf	3,861 sf	3,924 sf
Maximum Height of Building	2.5	2.5	No Change
Maximum Gross Floor Area	35'	41.2' *	No Change
	20,000 sf	3,861 sf	3,924 sf

F.A.R. Calculations:	Existing	Proposed	Total
First Floor	1,781.0 sf	63.0 sf	1,844.0 sf
Second Floor	1,557.0 sf	0.0 sf	1,557.0 sf
Attic	523.0 sf	0.0 sf	523.0 sf
Totals	3,861.0 sf	63.0 sf	3,924.0 sf

ACCESSORY STRUCTURES			
STABLES			
Front Yard Setback	115'	346.3'	N/A
Side Yard Setback	75'	0'	N/A
Street Side Yard Setback	115'	46'	N/A
Rear Yard Setback	75'	5.6'	N/A
Building Height	25'	13'	N/A
GARAGE			
Front Yard Setback	115'	207.1'	No Change
Side Yard Setback	75'	2.6'	No Change
Street Side Yard Setback	115'	56.9'	No Change
Rear Yard Setback	75'	132'	No Change
Building Height	16'	18.3'	No Change

POOL			
Front Yard Setback	15'	N/A	278.6'
Side Yard Setback	15'	N/A	28.0'
Rear Yard Setback	15'	N/A	59.4'
CABANA			
Front Yard Setback	115'	N/A	313.9'
Side Yard Setback	75'	N/A	20' **
Street Side Yard Setback	115'	N/A	26' **
Rear Yard Setback	75'	N/A	40' **
Building Height	16'	N/A	14'
Building Area	200 SF	N/A	180 SF

POOL EQUIPMENT			
Front Yard Setback	10'	N/A	319.9'
Side Yard Setback	10'	N/A	18.0'
Rear Yard Setback	10'	N/A	40.4'

* existing nonconforming			
** variance required			

540-506 Corner Lots
On corner lots in single- and two-family residential zones, the street which the front door faces or is proposed to face shall be the front yard.

540203 Definitions: Cabana
A one-story ground level detached accessory structure with a closed roof permitted to serve a lawfully existing and approved inground swimming pool on a residential property to be used for recreational or storage purposes associated with the residential use of the property. Only one pool cabana is permitted per residential property. In addition, cabana shall comply with the following:
A: Size : Lot Size SF 22,001 - 45,000 Maximum Cabana Size 200 SF
B: The pool cabana must be seasonal (closed for at least 90 days) and is not permitted to have heating equipment, air conditioning, contain a full-service kitchen or be designed for cooking or sleeping.
D: Cabanas shall meeting the accessory setback requirements for the zone in relation to the location in the yard, lot coverage and setback as well as additional requirements set forth within 540-508 Accessory buildings and structures.

Addition and Alterations to the

SOUROUR RESIDENCE

435 Navesink River Road
Middletown, New Jersey

DRAWING LIST

- V-1 Zoning Information, Existing and Proposed Site Plans
- V-2 Existing First Floor Plan
- V-3 Proposed First Floor Plan
- V-4 Existing Second Floor Plan
- V-5 Proposed Second Floor Plan
- V-6 Existing Third Floor Plan
- V-7 Proposed Third Floor Plan
- V-8 Existing Front Elevation
- V-9 Proposed Front Elevation
- V-10 Existing Left Side Elevation
- V-11 Proposed Left Side Elevation
- V-12 Existing Rear Elevation
- V-13 Proposed Rear Elevation
- V-14 Existing Right Side Elevation
- V-15 Proposed Right Side Elevation
- V-16 Existing and Proposed Garage Front Elevations
- V-17 Proposed Cabana Front Elevation and Proposed Pool and Cabana Plan

LIST OF VARIANCES

1. Lot Coverage
2. Floor Area Ratio
3. Accessory Structure Cabana Side Yard Setback
4. Accessory Structure Cabana Street Side Yard Setback
6. Accessory Structure Cabana Rear Yard Setback

SITE PLAN NOTES

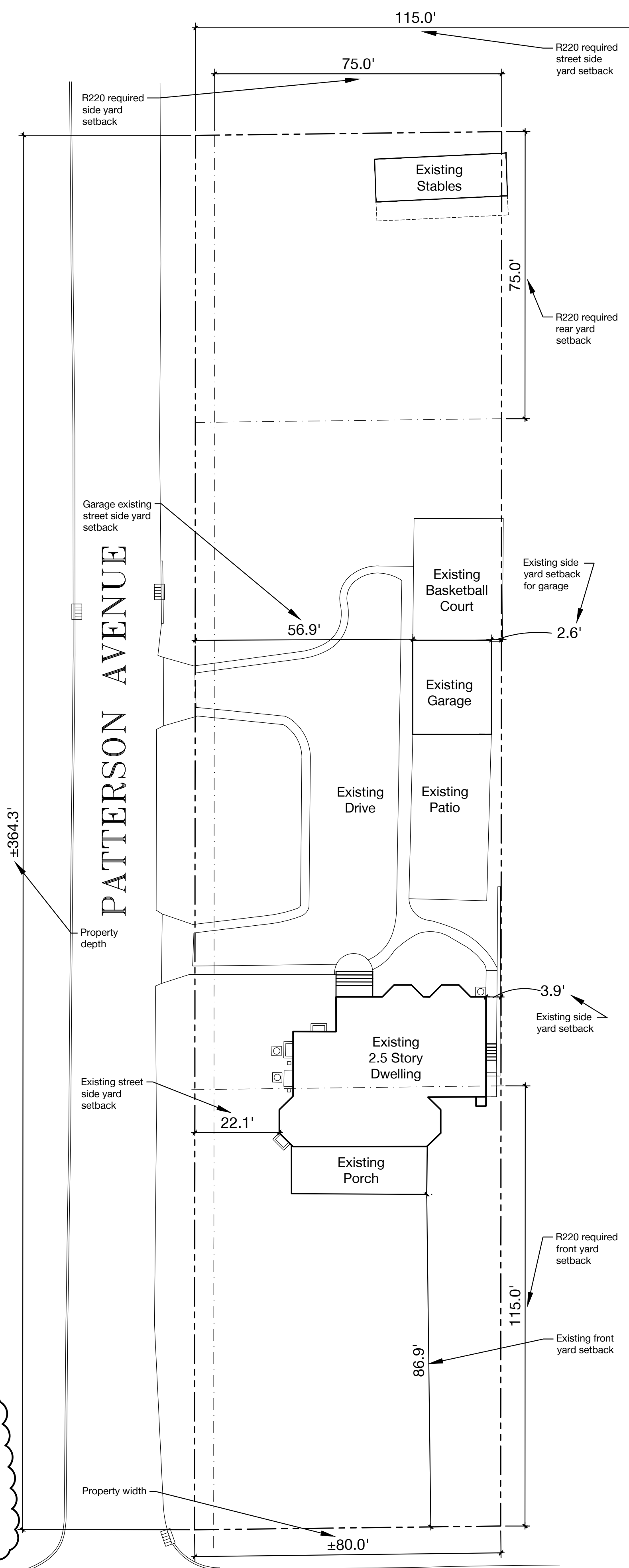
Information obtained from a proposed plot plan provided by:

Morgan Engineering & Surveying
P.O. Box 5232
Toms River, NJ 08754
Phone: (732) 270-9690

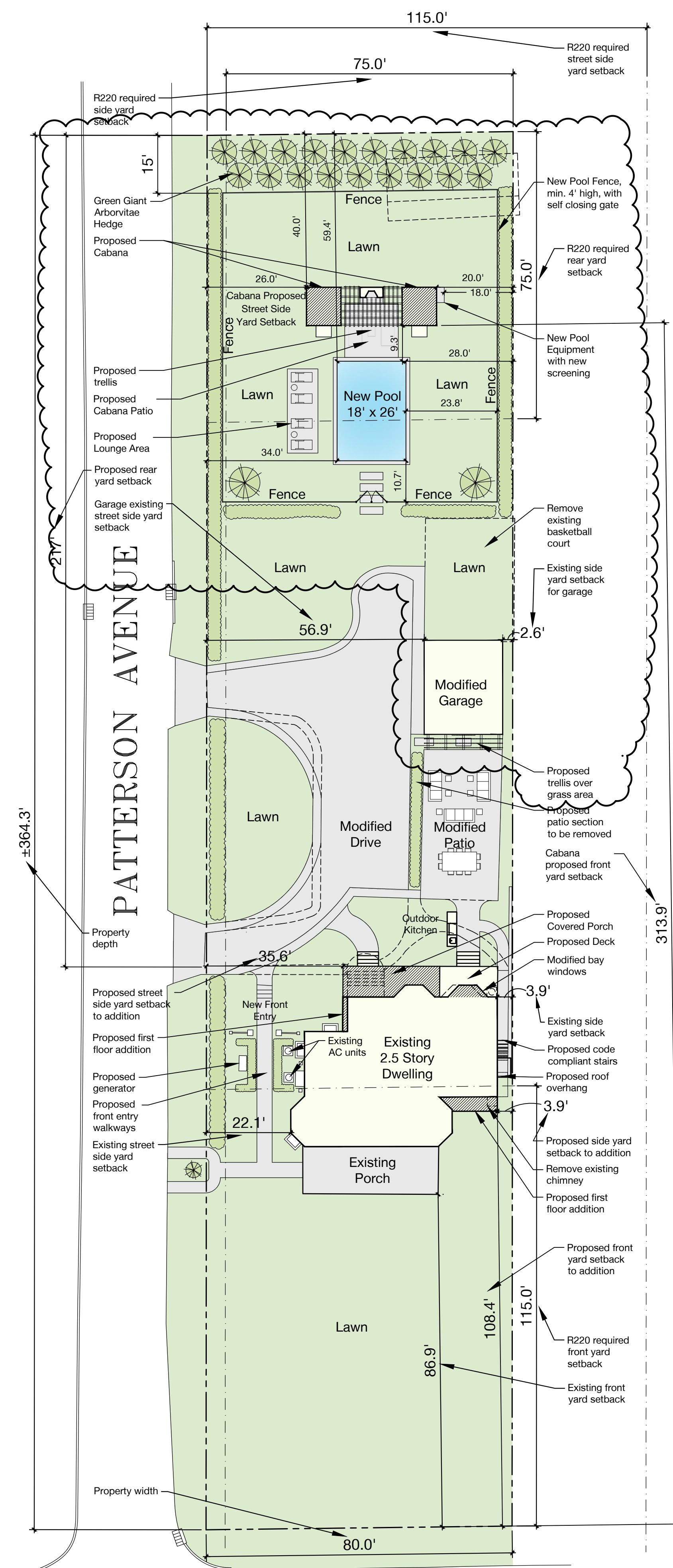
Date: May 15, 2025

SUMMARY OF CHANGES

1. Zoning chart revisions
2. Site plan revisions
3. Cabana Revisions



1 EXISTING SITE PLAN
SCALE: 1" = 20'



2 PROPOSED SITE PLAN
SCALE: 1" = 20'

ARCHITECTURE & DESIGN

ROSEN KELLY CONWAY

DAVID M. ROSEN, AIA, LEED AP
NJ - AI 08664 NY - 025464

JOHN H. KELLY, JR., AIA, LEED AP
NJ - AI 11116

THOMAS A. CONWAY, AIA, LEED AP
NJ - AI 17846

January 2, 2026

NICHOLAS GIULIANO, AIA
NJ - AI 02163900 NY - 038783

16 Maple Street Summit NJ 07901
908 273 6565 rkcad.com

Variance Revisions	01.02.26
Revisions	12.23.25
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SOUROUR RESIDENCE
435 NAVESINK RIVER ROAD
MIDDLETOWN, NJ

ZONING INFORMATION, EXISTING
AND PROPOSED SITE PLANS

V-1

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DAVID M. ROSEN, AIA, LEED AP
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JOHN H. KELLY, JR., AIA, LEED AP
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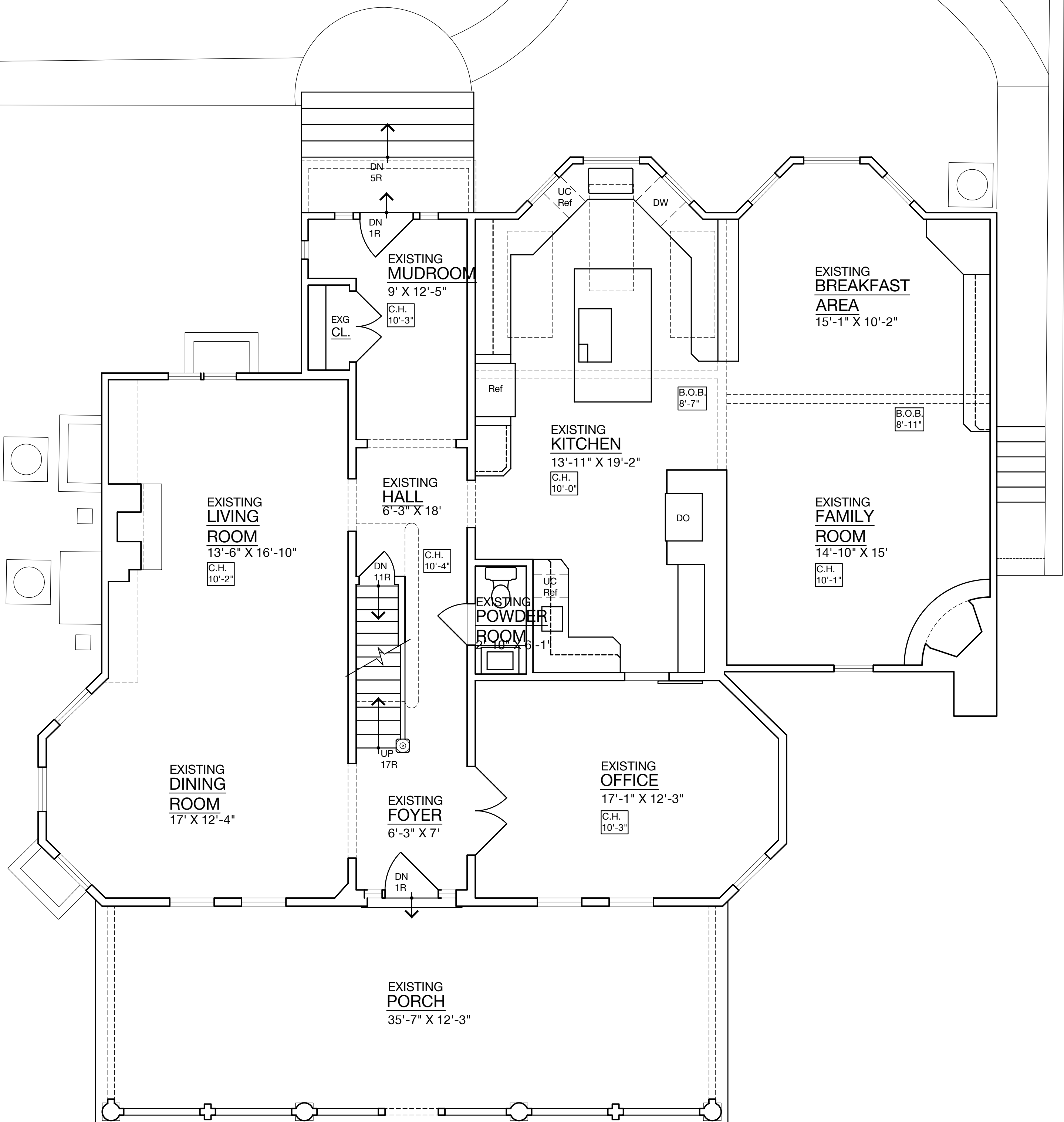
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SOUROUR RESIDENCE
435 NAVESINK RIVER ROAD
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EXISTING FIRST FLOOR PLAN

V-2



1
V-2
EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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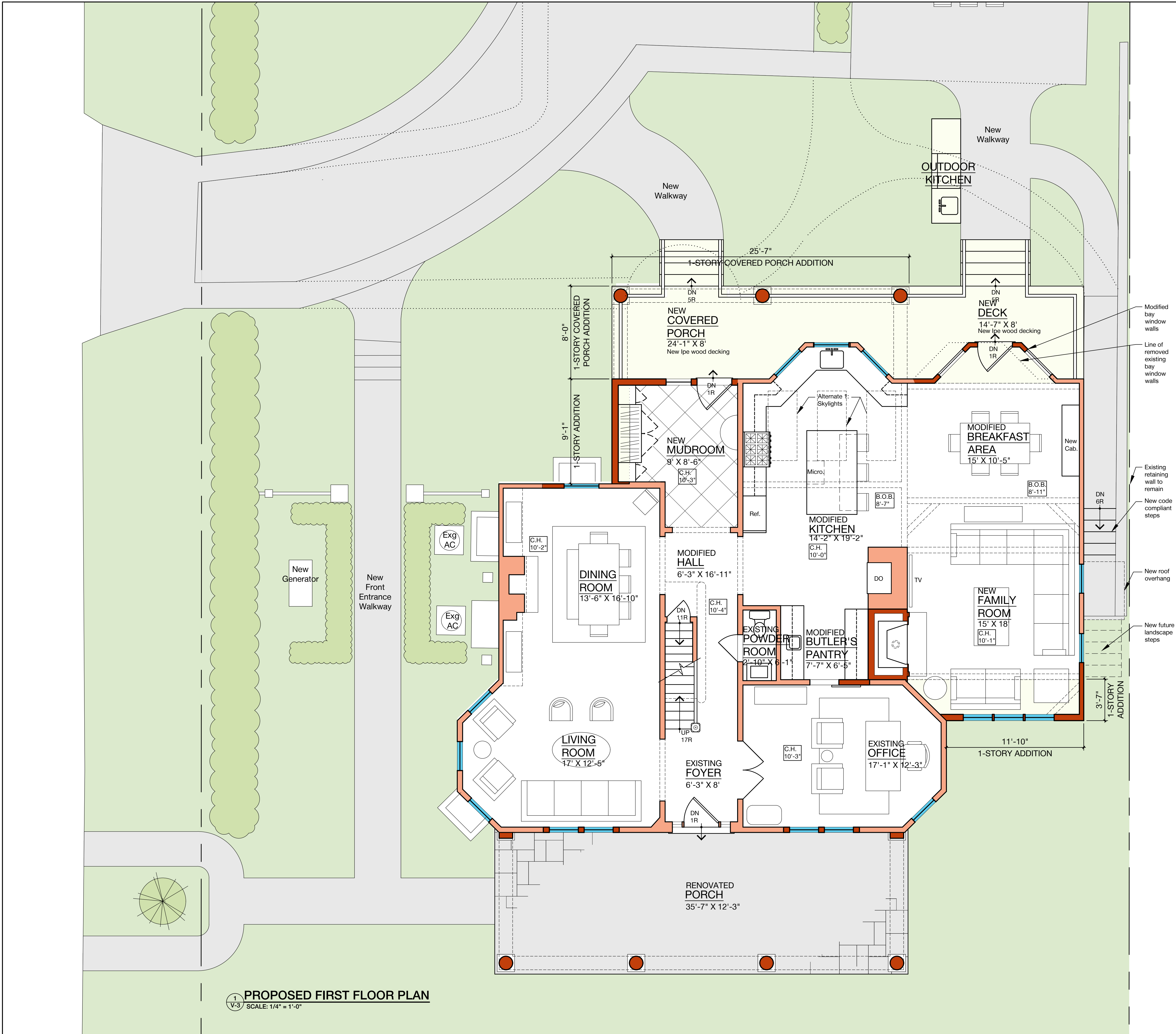
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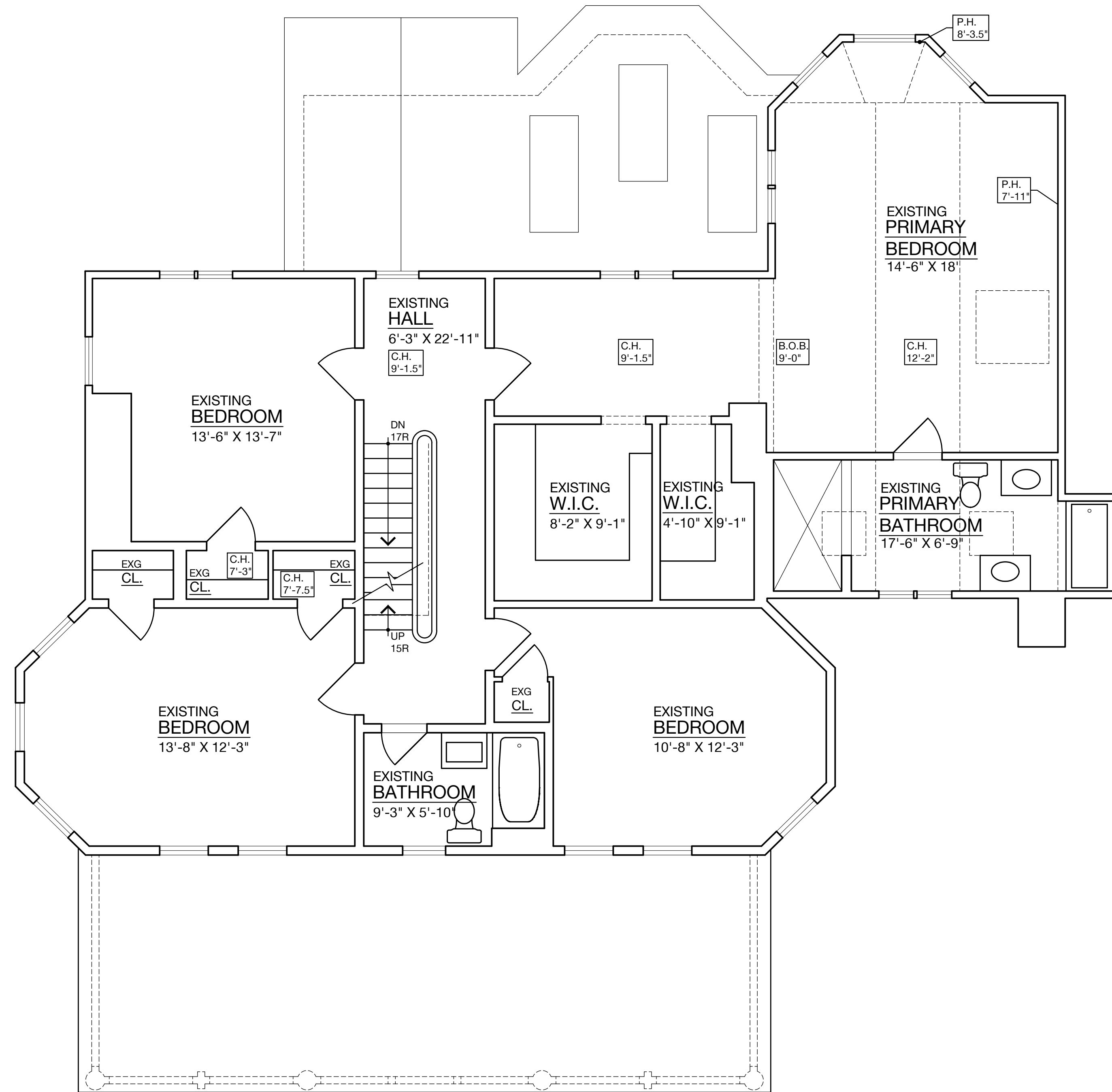
PROPOSED FIRST FLOOR PLAN

V-3



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEY	
	Addition Areas
	Existing Walls
	New Walls



EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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DAVID M. ROSEN, AIA, LEED AP
NJ - AI 08664 NY - 025464

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NJ - AI 11116

Thomas A. Conway
THOMAS A. CONWAY, AIA, LEED AP
NJ - AI 17846

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NICHOLAS GIULIANO, AIA
NJ - AI 02163900 NY - 038783

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908 273 6565 rkcad.com

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EXISTING SECOND FLOOR PLAN

V-4



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEY

- Addition Areas
- Existing Walls
- New Walls

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CONWAY

DAVID M. ROSEN, AIA, LEED AP
NJ - AI 08664 NY - 025464

JOHN H. KELLY, JR., AIA, LEED AP
NJ - AI 11116

Thomas A. Conway
THOMAS A. CONWAY, AIA, LEED AP
NJ - AI 17846

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NJ - AI 02163900 NY - 038783

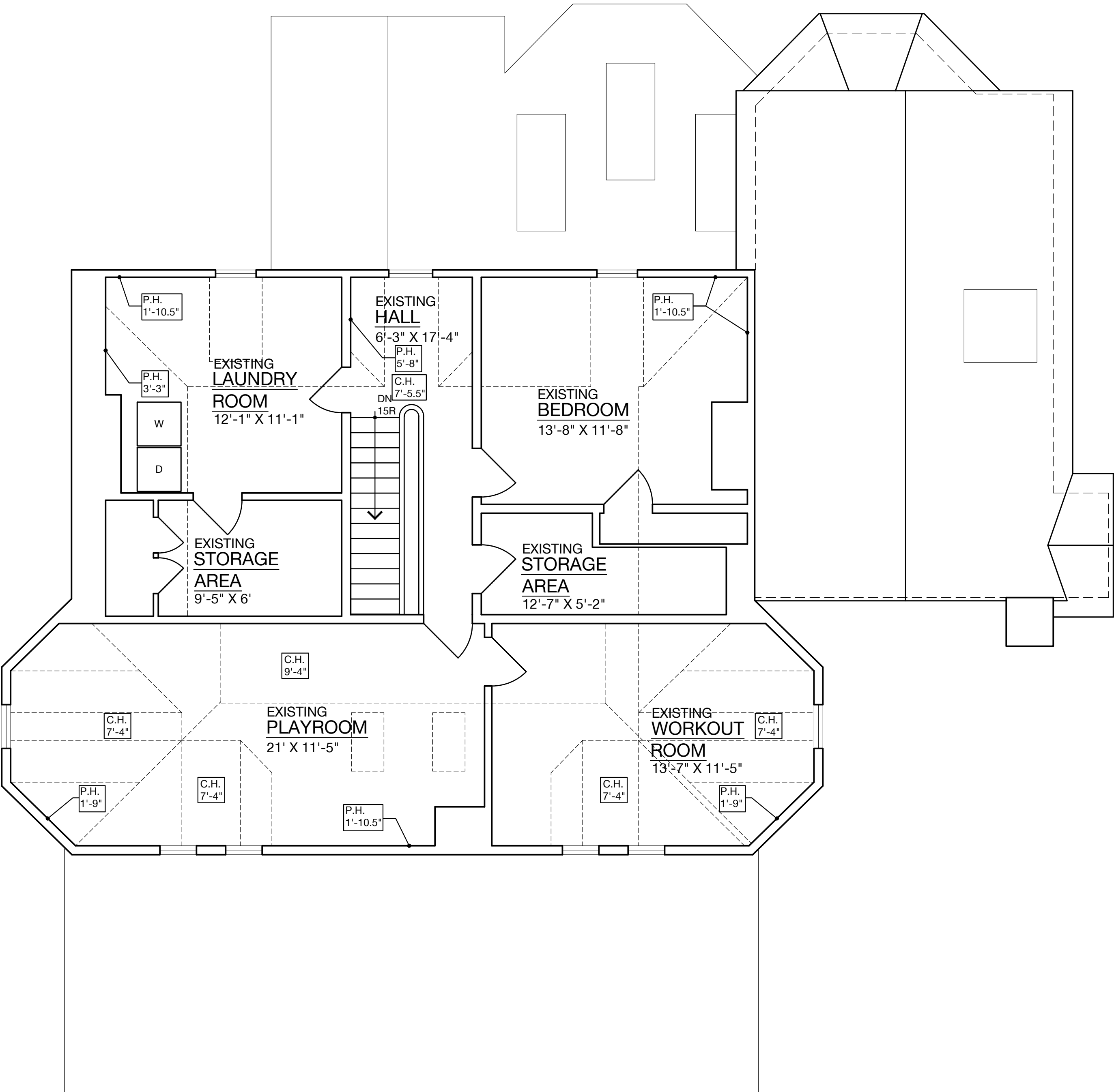
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435 NAVESINK RIVER ROAD
MIDDLETOWN, NJ

PROPOSED SECOND FLOOR PLAN

V-5



EXISTING THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

ARCHITECTURE & DESIGN

ROSEN
KELLY
CONWAY

DAVID M. ROSEN, AIA, LEED AP
NJ - AI 08664 NY - 025464

JOHN H. KELLY, JR., AIA, LEED AP
NJ - AI 11116

Thomas A. Conway
THOMAS A. CONWAY, AIA, LEED AP
NJ - AI 17846

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NICHOLAS GIULIANO, AIA
NJ - AI 02163900 NY - 038783

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EXISTING THIRD FLOOR PLAN

V-6

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NJ - AI 08664 NY - 025464

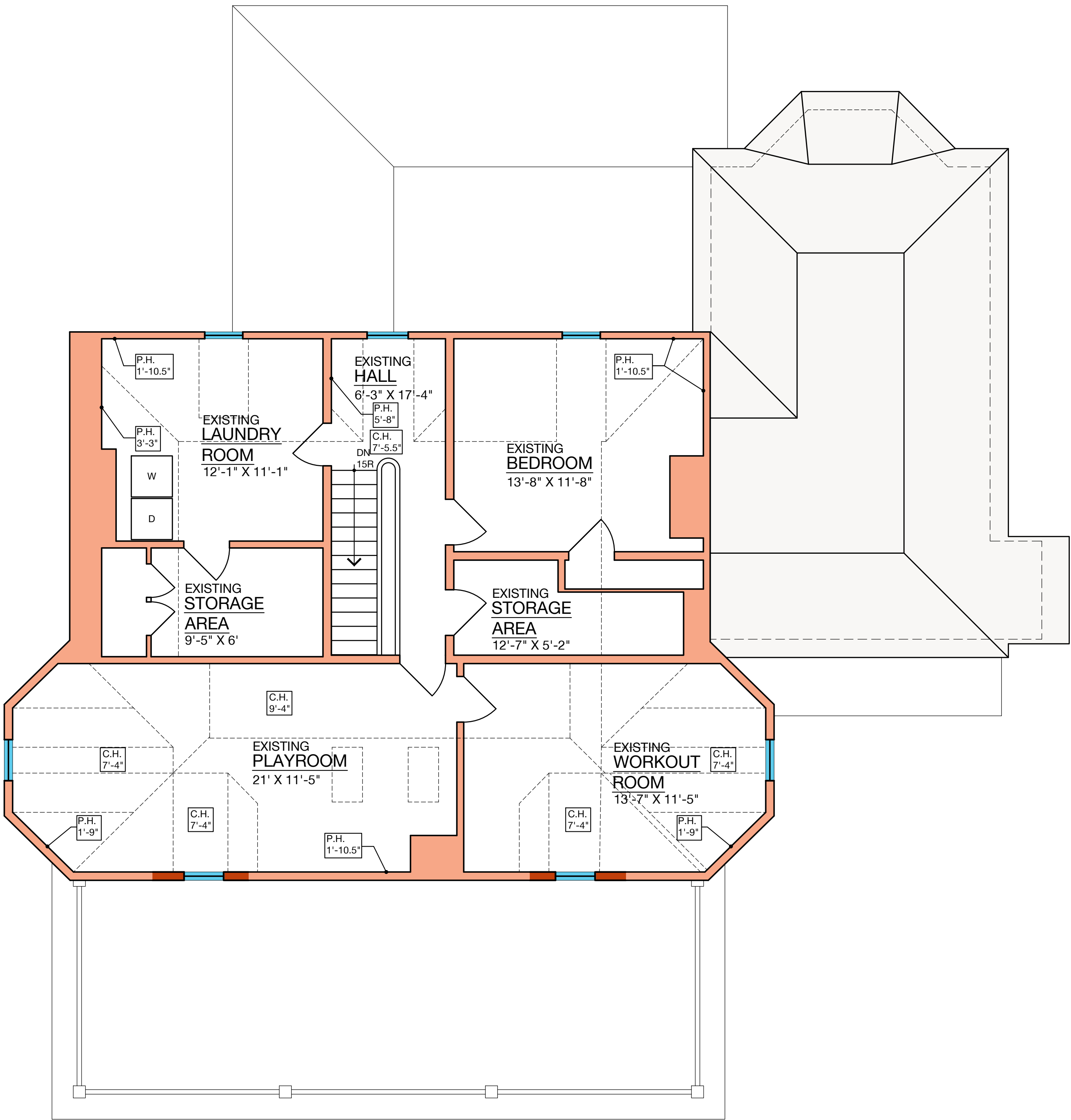
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NJ - AI 17846

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NJ - AI 02163900 NY - 038783

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PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEY	
	Addition Areas
	Existing Walls
	New Walls

SOUROUR RESIDENCE
435 NAVESINK RIVER ROAD
MIDDLETOWN, NJ

PROPOSED THIRD FLOOR PLAN

V-7

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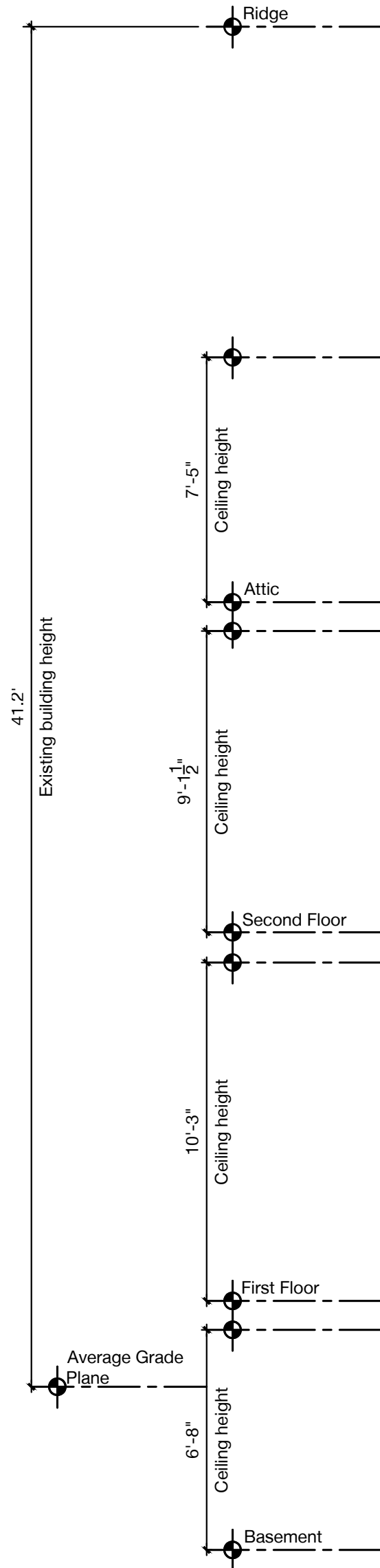
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EXISTING FRONT ELEVATION
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SOUROUR RESIDENCE
435 NAVESINK RIVER ROAD
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EXISTING FRONT ELEVATION

V-8

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DAVID M. ROSEN, AIA, LEED AP
NJ - AI 08664 NY - 025464

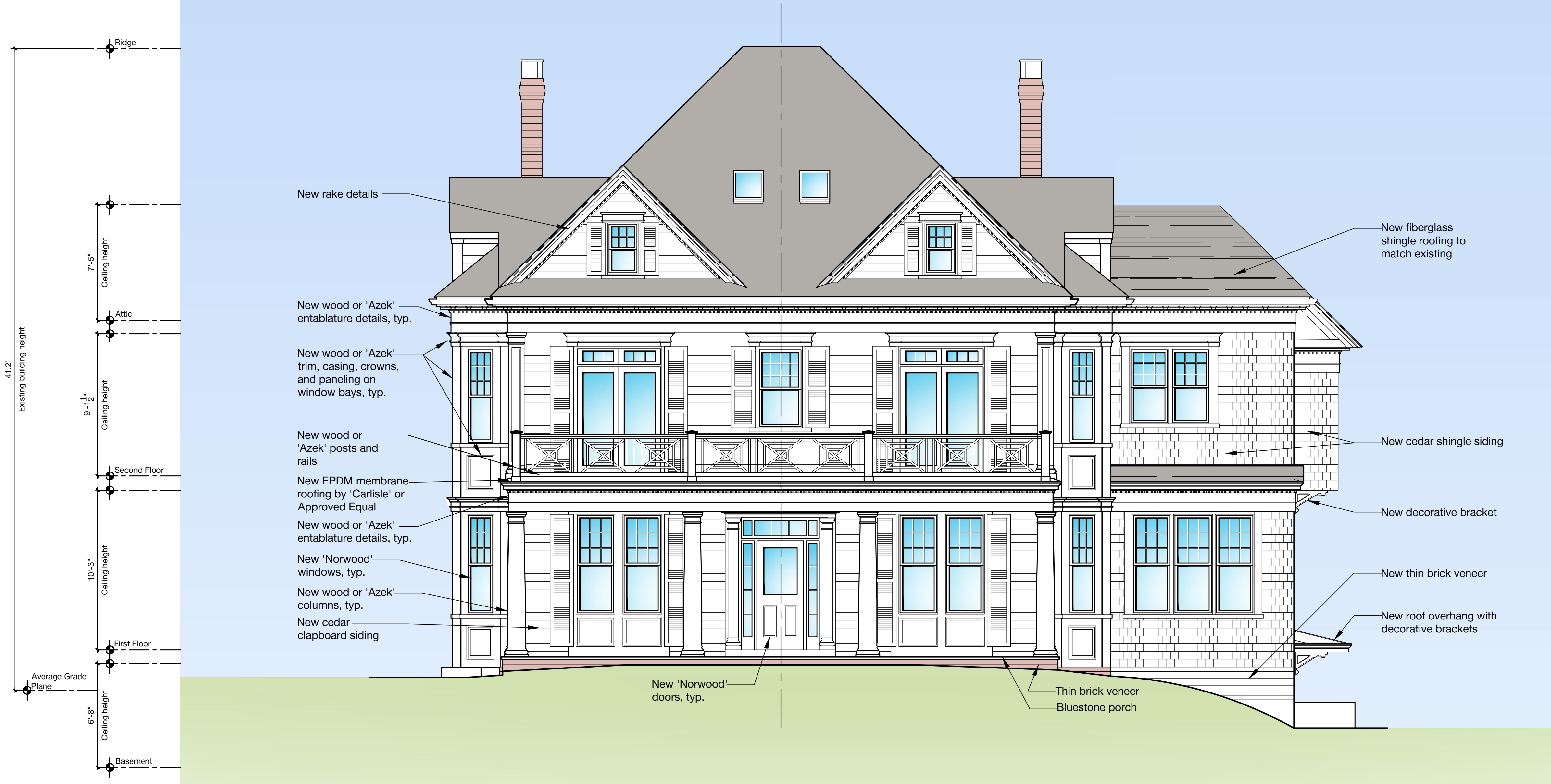
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NJ - AI 17846

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NJ - AI 02163900 NY - 038783

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1
V-9
PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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PROPOSED FRONT ELEVATION

V-9

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NJ - AI 08664 NY - 025464

JOHN H. KELLY, JR., AIA, LEED AP
NJ - AI 11116

Thomas A. Conway
THOMAS A. CONWAY, AIA, LEED AP
NJ - AI 17846

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NJ - AI 02163900 NY - 038783

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EXISTING LEFT SIDE ELEVATION
V-10 SCALE: 1/4" = 1'-0"

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EXISTING LEFT SIDE ELEVATION

V-10

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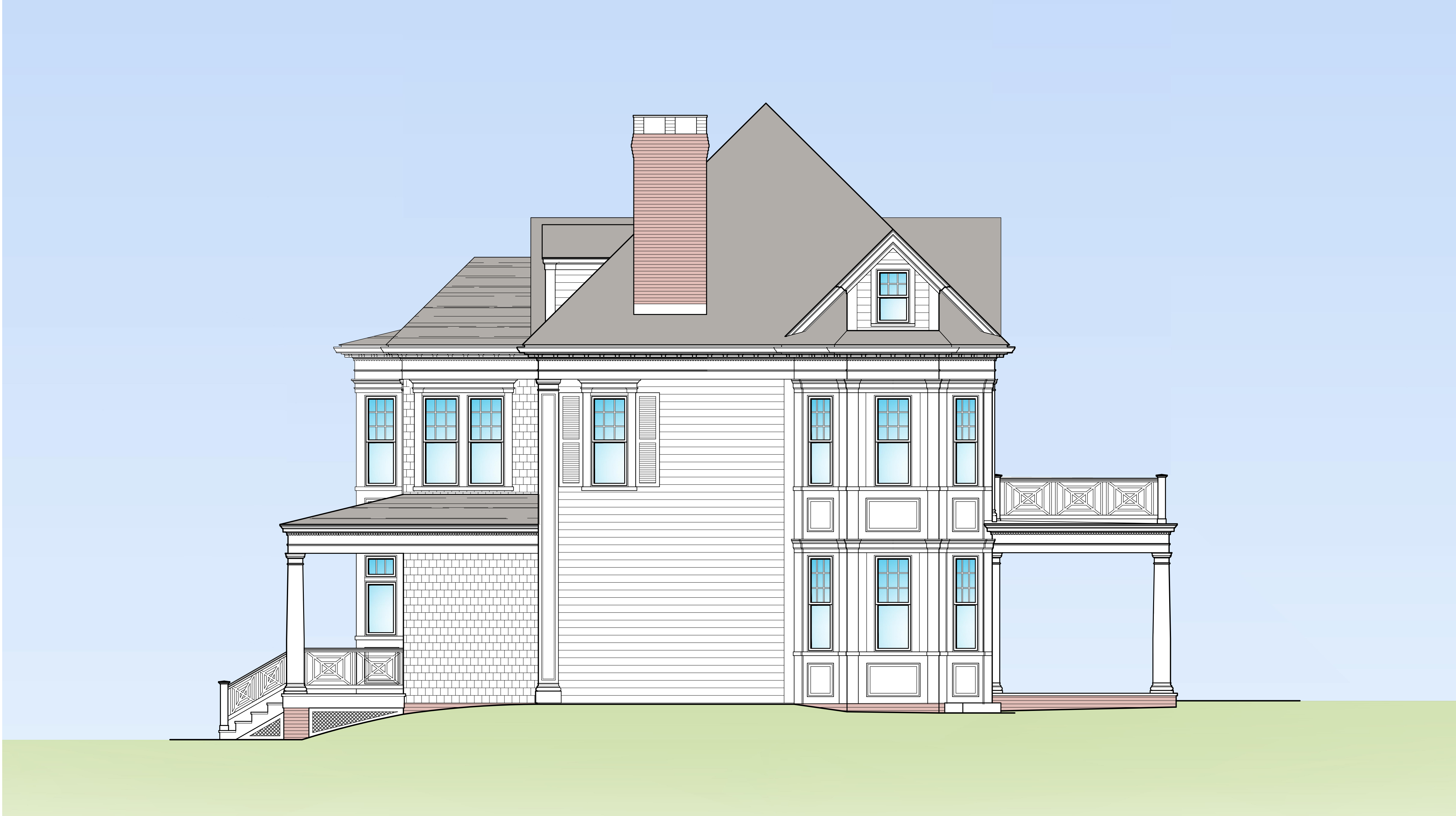
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PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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SOUROUR RESIDENCE
435 NAVESINK RIVER ROAD
MIDDLETOWN, NJ

PROPOSED LEFT SIDE ELEVATION

V-11



1
V-12 **EXISTING REAR ELEVATION**
SCALE: 1/4" = 1'-0"

ARCHITECTURE & DESIGN

**ROSEN
KELLY
CONWAY**

DAVID M. ROSEN, AIA, LEED AP
NJ - AI 08664 NY - 025464

JOHN H. KELLY, JR., AIA, LEED AP
NJ - AI 11116

Thomas A. Conway
THOMAS A. CONWAY, AIA, LEED AP
NJ - AI 17846

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NJ - AI 02163900 NY - 038783

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EXISTING REAR ELEVATION

V-12

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DAVID M. ROSEN, AIA, LEED AP
NJ - AI 08664 NY - 025464

JOHN H. KELLY, JR., AIA, LEED AP
NJ - AI 11116

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THOMAS A. CONWAY, AIA, LEED AP
NJ - AI 17846

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NJ - AI 02163900 NY - 038783

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PROPOSED REAR ELEVATION
V-13 SCALE: 1/4" = 1'-0"

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PROPOSED REAR ELEVATION

V-13

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DAVID M. ROSEN, AIA, LEED AP
NJ - AI 08664 NY - 025464

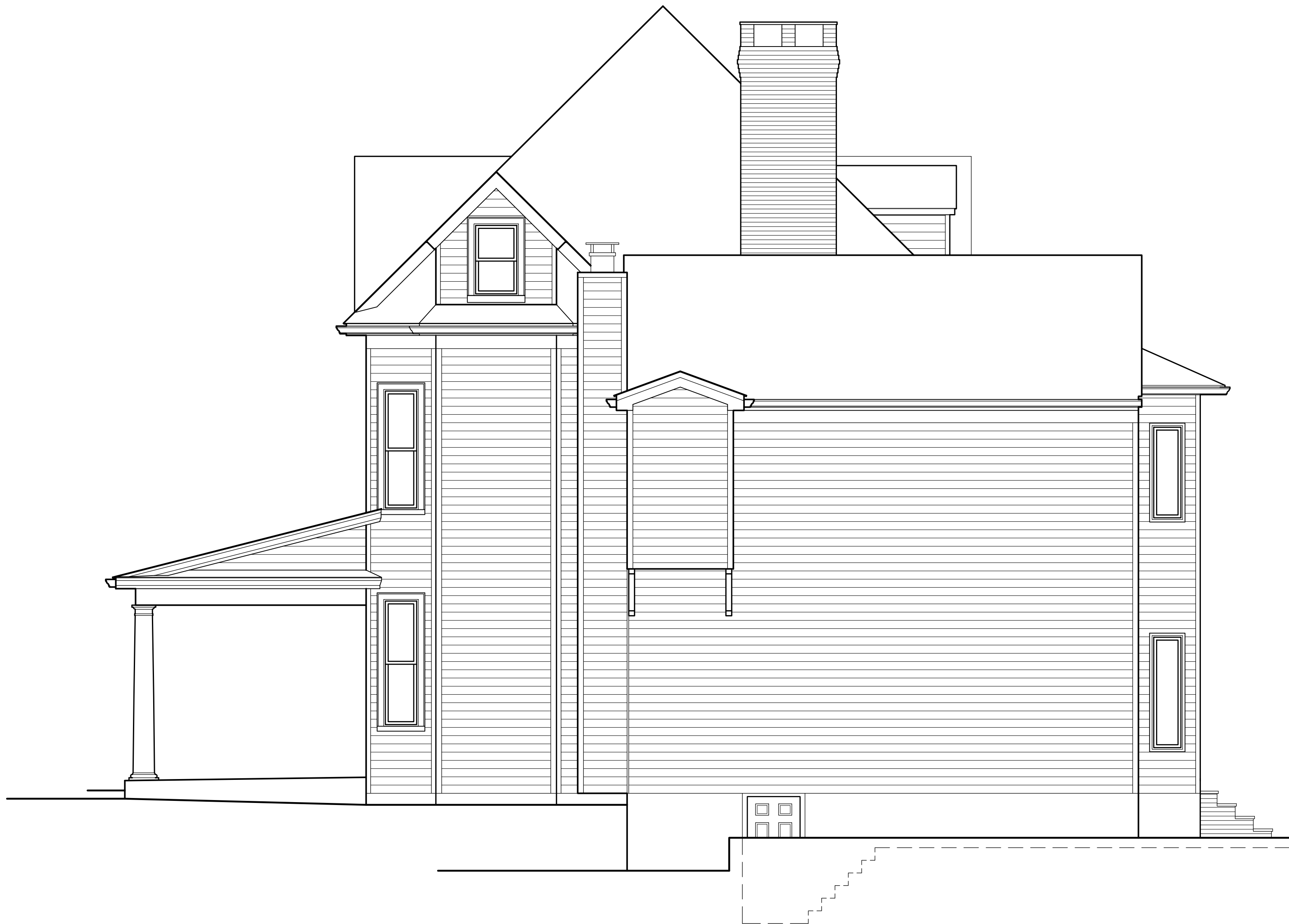
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NJ - AI 02163900 NY - 038783

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EXISTING RIGHT SIDE ELEVATION
1
V-14 SCALE: 1/4" = 1'-0"

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EXISTING RIGHT SIDE ELEVATION

V-14

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PROPOSED RIGHT SIDE ELEVATION
V-15 SCALE: 1/4" = 1'-0"

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PROPOSED RIGHT SIDE ELEVATION

V-15

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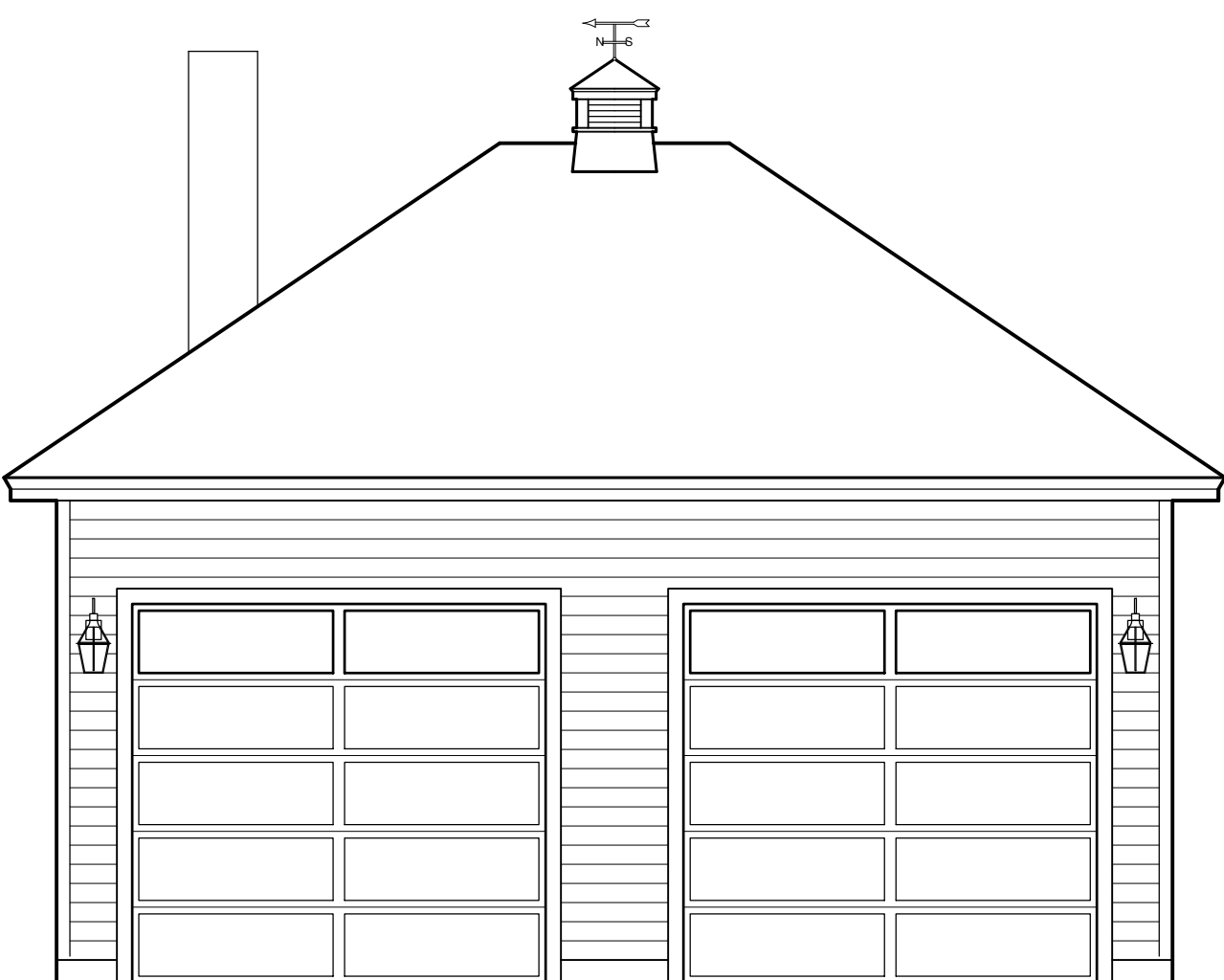
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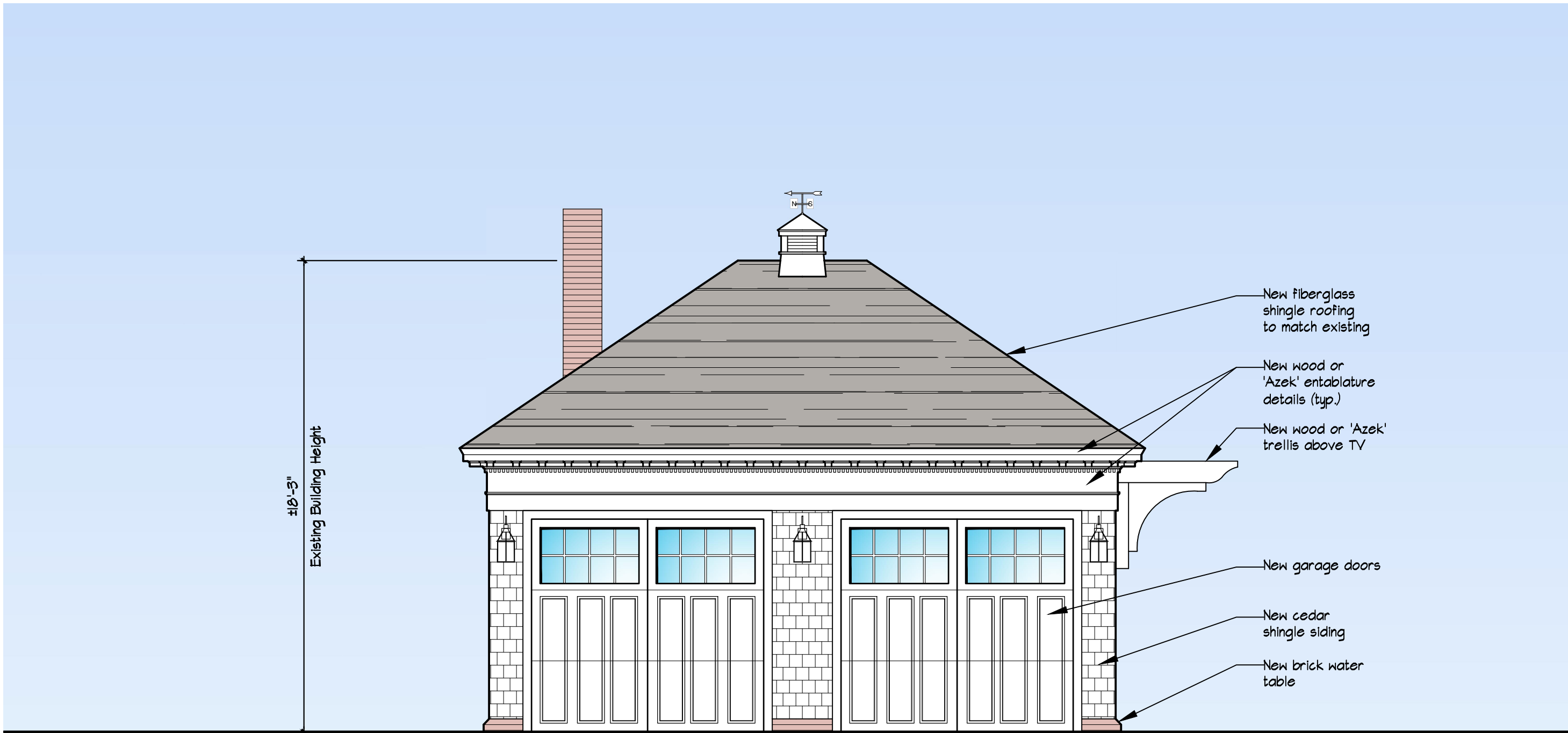
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1
V-16/ EXISTING GARAGE FRONT ELEVATION
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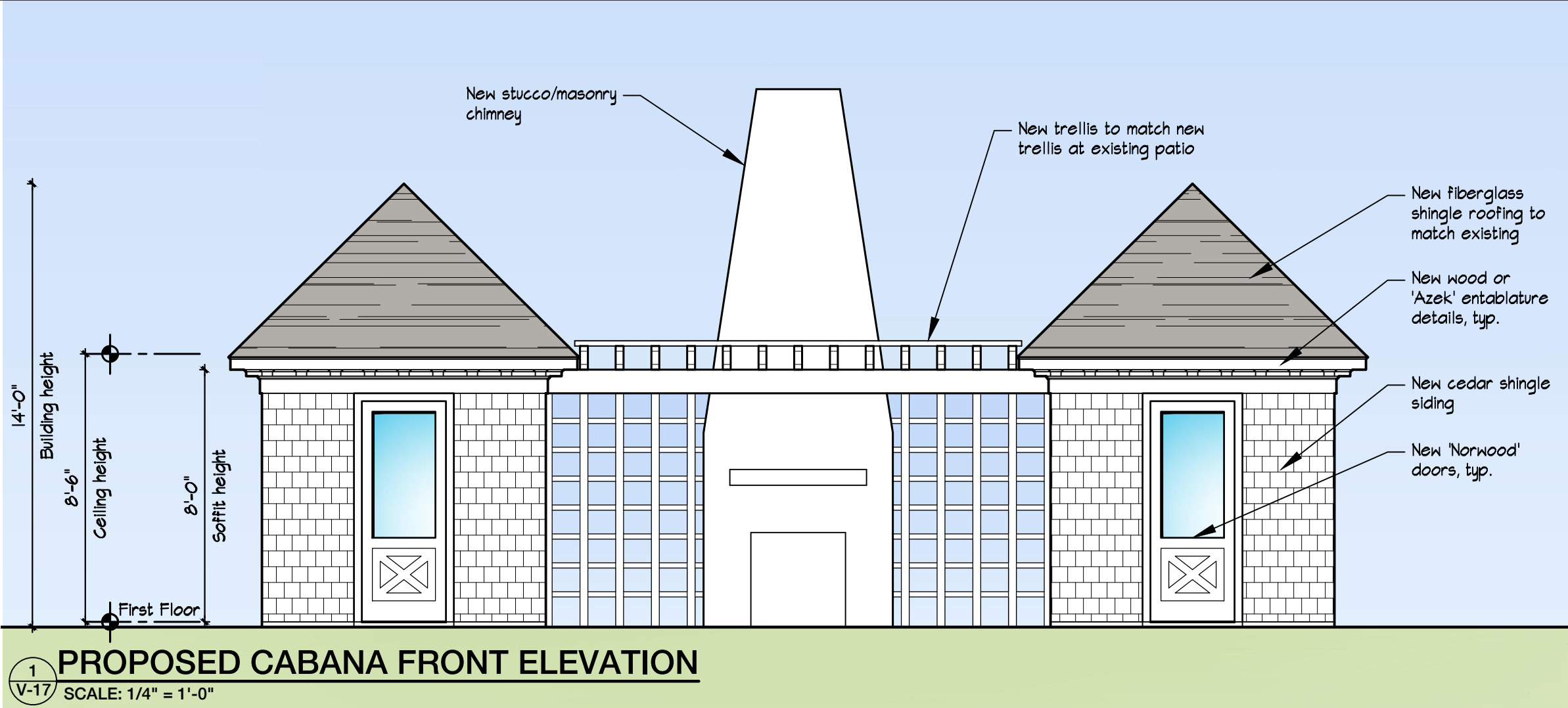
2
V-16/ PROPOSED GARAGE FRONT ELEVATION
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EXISTING AND PROPOSED
GARAGE FRONT ELEVATIONS

V-16



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PROPOSED POOL AND CABANA
PLAN, PROPOSED CABANA
ELEVATION

V-17