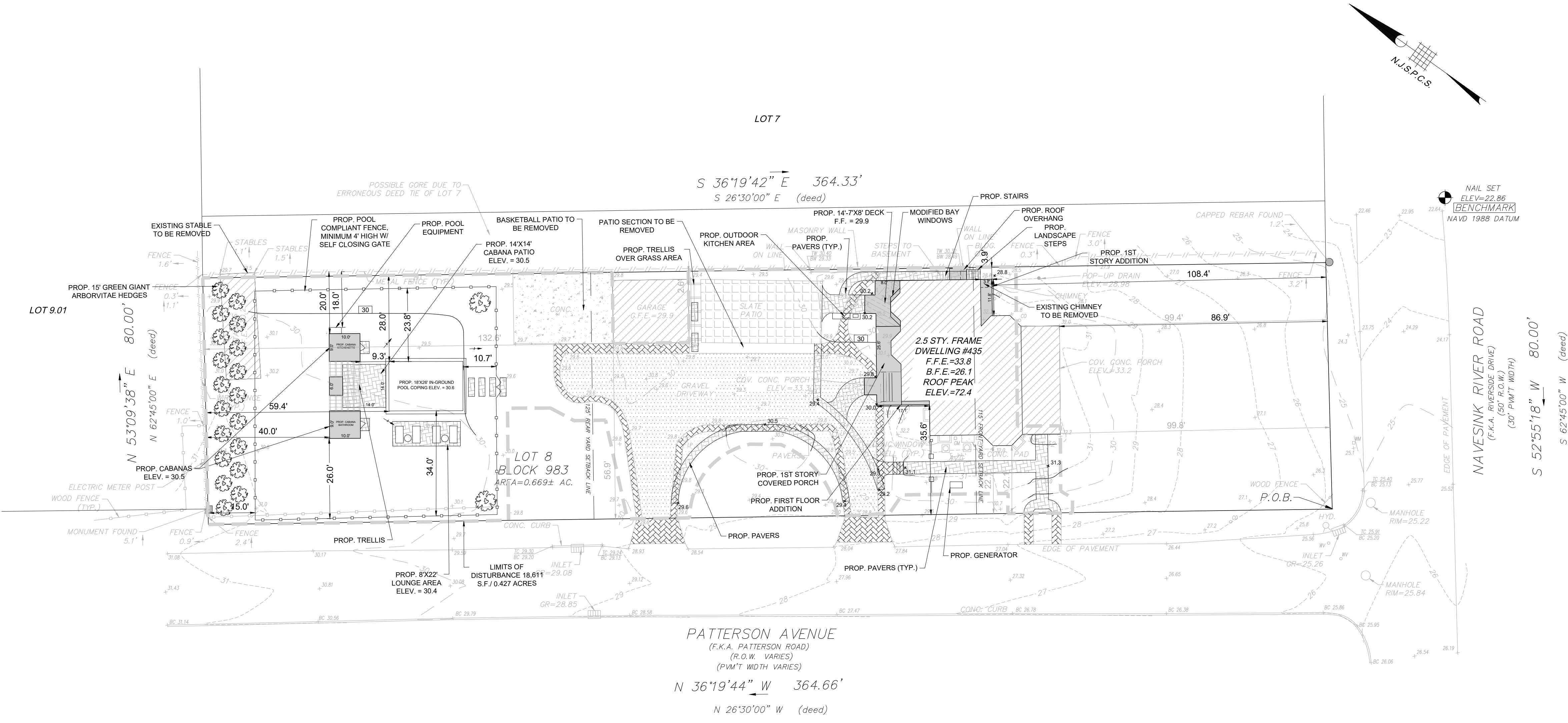




- NOTES:**
- THIS MAP IS NOT A SURVEY.
 - THE PURPOSE OF THIS MAP IS FOR OBTAINING A ZONING PERMIT FROM THE TOWNSHIP OF MIDDLETOWN FOR THE CONSTRUCTION OF AN IN-GROUND POOL, POOL PATIO AND CABANA, PORCH EXPANSION, AND HOUSE EXPANSION.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM A CERTAIN PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, LOT 8, BLOCK 983, TOWNSHIP OF MIDDLETOWN, COUNTY OF MONMOUTH, NEW JERSEY," PREPARED BY MORGAN ENGINEERING & SURVEYING, LLC, DATED 08/03/24, LAST REVISED 02/24/25.
 - PER THE STATE OF NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF GIS NJ-GEOWEB INTERACTIVE MAPPING APPLICATION, WETLANDS DO NOT APPEAR TO EXIST ON THE SUBJECT PROPERTY.
 - PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON PRELIMINARY FIRM MAP #34025C0177F, DATED 01/30/2015.
 - EXISTING UTILITIES TO BE MARKED OUT PRIOR TO THE START OF CONSTRUCTION.
 - ALL ELEVATIONS ARE IN NAVD 1988 DATUM THROUGH GPS OBSERVATIONS USING LEICA RTK GPS NETWORK.
 - THIS PROPERTY IS LOCATED WITHIN THE R-220 ZONE.
 - NO NEW UTILITIES ARE REQUIRED FOR THE CONSTRUCTION OF THE IN-GROUND POOL.
 - LIMIT OF DISTURBANCE = 18,611 S.F.
 - ENTIRE PROPERTY IS LOCATED WITHIN REQUIRED SIDE SETBACK.
 - THERE ARE NO PONDS, STREAMS, BROOKS, MARSHES, RIVERS, LAKES, BOGS, DITCHES, CREEKS, SWAMPS, OR LOW-LYING AREAS WITHIN 50 FT. OF THE PROPERTY.
 - THE NAVESINK RIVER IS > 300 FT. FROM PROPERTY. THE 300 FT. RIPARIAN BUFFER IS NOT ON THIS PROPERTY.

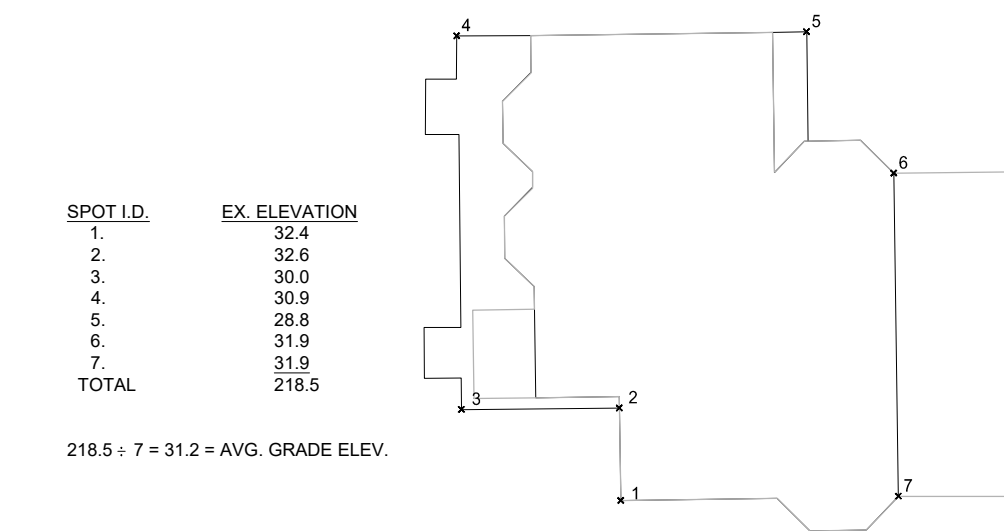
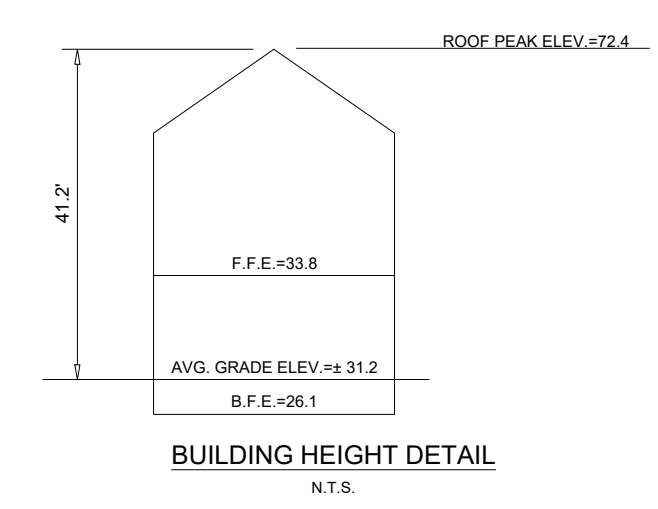
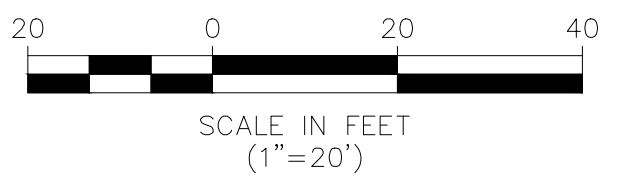
- POOL NOTES:**
- POOL MODEL - 468 SQUARE FOOT IN-GROUND POOL.
 - IN-GROUND POOLS SHALL BE COMPLETELY ENCLOSED BY A FENCE AT LEAST 4 FEET IN HEIGHT. ACCESS GATES SHALL OPEN OUTWARD AWAY FROM THE POOL AND SHALL BE SELF-CLOSING AND HAVE A SELF-LATCHING DEVICE. FENCING SHALL BE CODE COMPLIANT AND MEET NATIONAL SWIMMING POOL REGULATIONS, LOCAL BUILDING CODES AND TOWNSHIP ORDINANCE.
 - CONTRACTOR TO ENSURE ADEQUATE SUBGRADE BELOW AND IN THE IMMEDIATE VICINITY OF THE POOL. MORGAN ENGINEERING HAS PERFORMED NO STRUCTURAL CALCULATIONS AS IT RELATES TO THE SUPPORT OF THE POOL AND IMMEDIATE SURROUNDING AREA.
 - POOL DISCHARGE VIA OVERLAND HOSE TOWARDS PATTERSON AVENUE.
 - ALL MECHANICAL EQUIPMENT SERVICING THE POOL SHALL BE ELEVATED ABOVE THE BASE FLOOD ELEVATION.

ZONE R-220 REQUIREMENTS			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	220,000 S.F.	29,144 S.F.	N.C.
MIN. LOT FRONTAGE	329 S.F.	---	---
NAVESINK ROAD	---	80 S.F.	N.C.
PATTERSON AVENUE	---	364.3 S.F.	N.C.
MIN. FRONT SETBACK	115 FT.	86.9 FT.	108.4 FT.
(PROP. CALCULATED TO ADDITION)			
MIN. SIDE SETBACK	75 FT.	3.9 FT.	N.C.
MIN. STREET SIDE SETBACK	115 FT.	22.1 FT.	35.6 FT.
(PROP. CALCULATED TO ADDITION)			
MIN. REAR SETBACK	125 FT.	223 FT.	217 FT.
MAX. BUILDING COVERAGE	15%	10.67%	10.80%
(PER R-22 ZONE REQUIREMENTS)			
MAX. LOT COVERAGE	20%	29.3% *	29.2% **
(PER R-22 ZONE REQUIREMENTS)			
MAX. FLOOR AREA RATIO	6%	13.2% *	13.5% **
MAX. GROSS FLOOR AREA	20,000 S.F.	3,861 S.F.	3,924 S.F.
BUILDING HEIGHT:			
FEET	35 FT.	41.2 FT.	N.C.
STORIES	2.5 STY.	2.5 STY.	N.C.

* - EXISTING NON-CONFORMING
** - VARIANCE REQUIRED
N.C. - NO CHANGE

ACCESSORY REQUIREMENTS			
	REQUIRED	EXISTING	PROPOSED
STABLE			
MIN. FRONT SETBACK	115 FT.	346.3 FT.	---
MIN. SIDE SETBACK	75 FT.	0 FT.	---
MIN. ST. SIDE SETBACK	115 FT.	46 FT.	---
MIN. REAR SETBACK	75 FT.	5.6 FT.	---
MAX. BUILDING HEIGHT	25 FT.	13 FT.	---
POOL			
MIN. FRONT SETBACK	15 FT.	---	280.5 FT.
MIN. SIDE SETBACK	15 FT.	---	28 FT.
MIN. REAR SETBACK	15 FT.	---	59.4 FT.
POOL CABANAS			
MIN. FRONT SETBACK	115 FT.	---	313 FT.
MIN. SIDE SETBACK	75 FT.	---	20 FT. **
MIN. ST. SIDE SETBACK	115 FT.	---	26 FT. **
MIN. REAR SETBACK	75 FT.	---	40 FT. **
MAX. BUILDING HEIGHT	16 FT.	---	14 FT.
MAX. BUILDING AREA	200 S.F.	---	180 S.F.
POOL EQUIPMENT			
MIN. FRONT SETBACK	10 FT.	---	319.5 FT.
MIN. SIDE SETBACK	10 FT.	---	18 FT.
MIN. REAR SETBACK	10 FT.	---	40 FT.
GARAGE			
MIN. FRONT SETBACK	115 FT.	207.1 FT.	N.C.
MIN. SIDE SETBACK	75 FT.	2.6 FT.	N.C.
MIN. ST. SIDE SETBACK	115 FT.	56.9 FT.	N.C.
MIN. REAR SETBACK	75 FT.	132 FT.	N.C.
MAX. BUILDING HEIGHT	16 FT.	18.3 FT.	N.C.

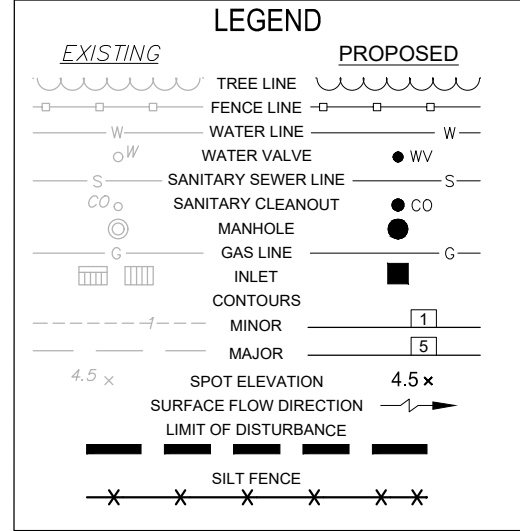
* - EXISTING NON-CONFORMING
** - VARIANCE REQUIRED
N.C. - NO CHANGE



BUILDING COVERAGE		
DESCRIPTION	EXISTING	PROPOSED
BUILDING	2,220.3 S.F.	2,463.5 S.F.
PAVERS/PATIOS	504.2 S.F.	504.2 S.F.
GARAGE	N/A	180 S.F.
CABANAS	N/A	180 S.F.
STABLE	384.3 S.F.	N/A
BUILDING LOT COVERAGE	3,108.8 S.F.	3,147.7 S.F.
LOT AREA	29,144 S.F.	
TOTAL BUILDING LOT COVERAGE	10.67%	10.80%

IMPERVIOUS (LOT) COVERAGE		
DESCRIPTION	EXISTING	PROPOSED
BUILDING	3,108.8 S.F.	3,147.7 S.F.
PAVERS/PATIOS	2,684.8 S.F.	2,854.2 S.F.
DRIVEWAY	2,687.7 S.F.	2,413.4 S.F.
DECKS/PORCH	55 S.F.	111.2 S.F.
IMPERVIOUS LOT COVERAGE	8,536.3 S.F.	8,526.5 S.F.
LOT AREA	29,144 S.F.	
TOTAL IMPERVIOUS LOT COVERAGE	29.3%	29.2%

ABBREVIATION
T.O. - TOP OF CURB GRADE
TW / BW - TOP/BOTTOM WALL
F.F.E. - FIRST FLOOR ELEVATION
B.F.E. - BASEMENT FLOOR ELEVATION
G.F.E. - GARAGE FLOOR ELEVATION
T.B.R. - TO BE REMOVED
N.T.S. - NOT TO SCALE



PREPARED FOR: AHMED SOUROUR

P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9690
FAX: 732-270-9691
www.morganengineeringllc.com

DONNA M. BULLOCK
NEW JERSEY PROFESSIONAL ENGINEER LICENSE: No. 41931

3	12/30/25	REVISIONS PER HEARING COMMENTS	JAS
2	5/15/25	REVISIONS PER DENIAL LETTER	JAS
1	4/3/25	REVISIONS PER APPLICANT'S REQUESTS	JAS
REV	DATE	DESCRIPTION	BY

PLOT PLAN FOR HOUSE EXPANSION & IN-GROUND POOL

435 NAVESINK RIVER ROAD

LOT 8 BLOCK 983

TOWNSHIP OF MIDDLETOWN

COUNTY OF MONMOUTH NEW JERSEY

Scale: 1"=20' Drawn By: JAS Date: 03/21/25 JOB #: E24-00347 CAD File #: PLOT PLAN Sheet #: 1 of 1